



# Guide for Detached Residential Accessory Building

Permits Licence and Inspection Services

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Detached Residential Accessory Buildings up to 500 sq. ft. in size

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20338 65 Ave., Langley B.C. V2Y 3J1

Phone 604-533-6018

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*The purpose of this guideline is to assist the homeowner builder and contractor with the Building Permit process for a detached residential accessory building. This guide will provide the public with information on the Township of Langley's requirements for permits and inspections. At any time during the course of the process please feel free to call staff for assistance or clarification.*

## **Building Permit Template Drawings:**

The Building Department of the Township of Langley has created the **detached residential accessory building plan template** that may be reproduced by the applicant for a Building Permit submission. (*see attached*).

These drawings need to be fully and accurately completed by the applicant to be acceptable for a Building Permit application. All appropriate blank spaces are to be filled out.

Please note that it is the responsibility of the property owner and/ or applicant to accurately complete the template drawings and ensuring the work comply with the current edition of the B.C. Building Code and all other applicable Municipal Bylaws or enactments.

*Please note that incomplete applications will not be accepted and may delay the issuance of the Building Permit.*

## **Completing the Building Permit Template Drawings: (drawings are to be reproduced to scale: 1/4" = 1')**

- complete the site plan or provide one of your own, appropriate to the siting of your accessory building.
- under Construction Assemblies, fill the blanks for the type of roof material and exterior finish material you are proposing for the project.
- on the Cross Section Drawing, provide the pitch of roof, interior floor to ceiling height, roof overhang width and top of slab elevation
- the Floor Plan will require all dimensions to be shown.
- the Garage Elevations need to be labeled with the direction it is facing, as well as the ridge/peak height, eave height and mean height of the roof.

*An accepted driveway application and permit are required from Engineering prior to issuance of the Building Permit.*

Engineering Dept. fees to be paid for:

- installation of culverts or bulkheads.
- installation or removal of driveway crossings

## **Application for a Building Permit:**

Applications for a Building Permit are to be made at the Permits and Licences Department. The applicant must provide:

- legal description and/or civic address;
- 3 sets of site and building plans;

- disclosure of any water courses, right-of-ways, easements or other covenants on the property;
- the name, address and phone number of the owner and builder;

## **Private Septic Systems:**

A building referral form is to be completed by a Registered Waste Water Practitioner and submitted with the building permit application for all accessory buildings on properties serviced by private septic systems.

2 sets of the site plans drawings are to be stamped by the RWP.

The pink copy of the septic permit file form is to be submitted with the permit application if alteration or repair to the septic system is required.

## **Process of Building Permit Application:**

A site inspection and review of plans for compliance with the bylaws of the Township will be undertaken. The issuing of the permit may be delayed depending on:

- volume of applications;
- the complexity of the project;
- the **accuracy** of the application;
- if Board of Variance is required;
- the compliance of the plans with the applicable zoning and other bylaws including the current edition of the building code.

## Issuance of a Detached Residential Garage Building Permit:

A Permit will be issued following the acceptance of plans showing compliance with the Township of Langley Bylaws and other applicable enactment's and the payment of the appropriate permit fees, applicable engineering fees. Please note that contractors are required to have valid trade qualification identification for sub-trade permits and a current Business License with the Township of Langley.

**NOTE:** No excavation, shoring, erection, alteration, enlargement, repair, removal, move or demolition of any building or structure or part thereof, shall be commenced or undertaken without a permit being first obtained from the Building Department.

### Required Inspections:

1. **Forms Inspection** - on completion of the concrete form work but prior to placing concrete for footings or foundations (please submit the survey certificate with pour strip elevations at the time of inspection).
2. **Drain Tile Inspection** – (required only when perimeter drainage is installed).
3. **Frame Inspection** - to be called when all frame work, sheathing, and all electrical wiring has been roughed and the drain tile accepted, but before the application of insulation or exterior cladding.
4. **Insulation and Vapour Barrier Inspection** – if thermal insulation and vapour barrier are installed.
5. **Final Building Inspection** – when construction is completed and before occupancy.

No person shall use or occupy or cause or permit to be caused or occupied any building or part thereof until he has received an Accepted FINAL Building Inspection from the Building Official.

## 24 Hr. Inspection Request Service Telephone: 604.533.6114

Requests received prior to 10:00am will be scheduled for inspections the following business day

Inspection requests may also be made on-line prior to 3:30pm for inspection the following business day on the Township of Langley website:

[www.tol.ca](http://www.tol.ca)

The following information is required when requesting an inspection: Permit Number, Contact Name and Phone Number, Type of Inspection, Address of the Building Site, and the Contractor's or Trade's Business Licence Number.

NOTE: All information must be provided in order for the inspection to be scheduled

### RELATED SERVICES

#### Listing of Registered Onsite Wastewater Practitioners

Please view the Onsite Wastewater Systems Web Site at [owrp.asttbc.org](http://owrp.asttbc.org)

#### Technical Safety BC

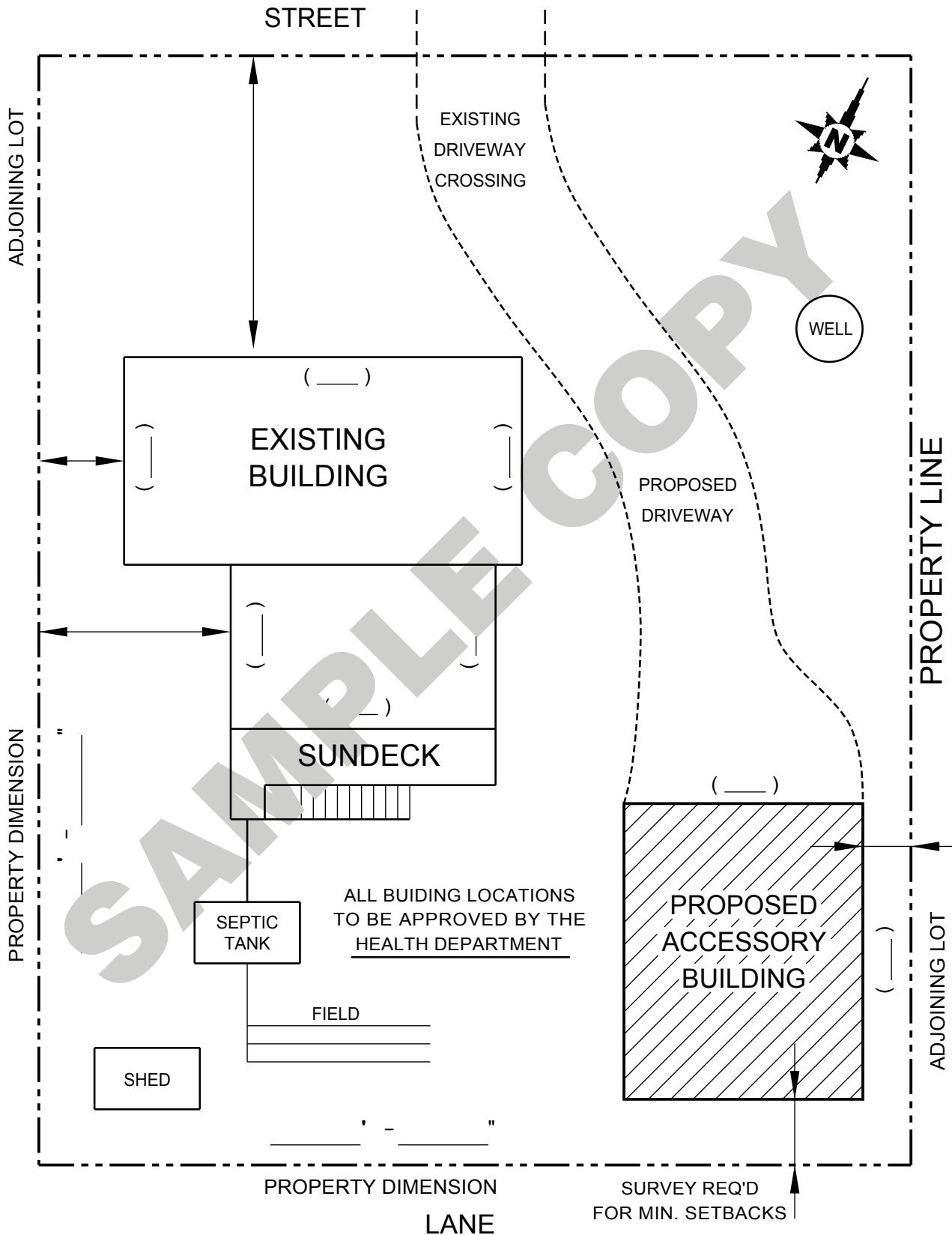
(Gas & Electrical Inspector)  
104, 9525 201 Street  
Langley, BC V1M 4A5  
Toll Free: 1.866.566.7233  
Fax: 604.539.3570

#### BC Housing – Licensing & Consumer Services

203, 4555 Kingsway  
Burnaby, BC V5H 4T8  
Tel: 604.646.7050 (Fax) 604.646.7051

#### Land Title and Survey Authority of British Columbia

New Westminster Land Title Office  
Anvil Centre Office Tower  
Suite 500 – 11 Eighth Street  
New Westminster, BC V3M 3N7  
Tel: 604.660.8141 Toll Free: 1.866.577.5872



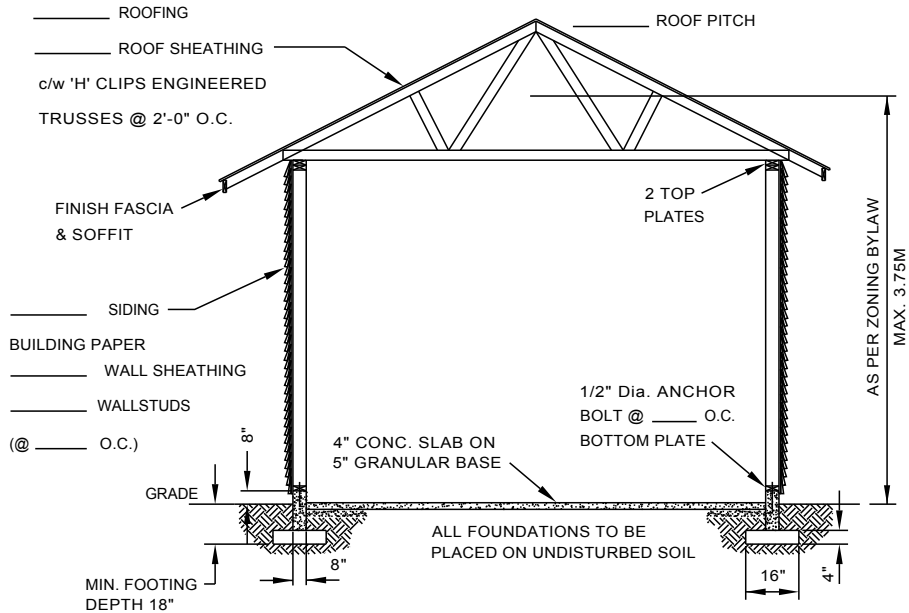
ZONING \_\_\_\_\_  
 ADDRESS \_\_\_\_\_  
 SITE AREA \_\_\_\_\_  
 ACCESSORY BLDG. AREA \_\_\_\_\_  
 LEGAL DESCRIPTION \_\_\_\_\_  
 \_\_\_\_\_

**PROPOSED ACCESSORY BUILDING**  
**SITE PLAN**

SCALE:

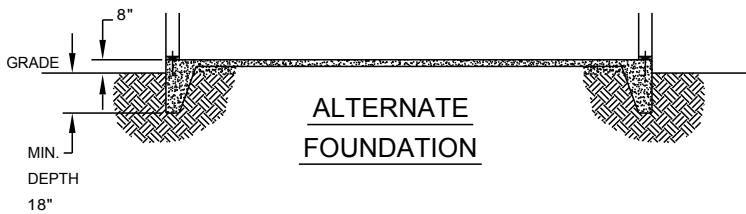
# RESIDENTIAL ACCESSORY BUILDING

100sq. ft. to 500sq. ft.



SECTION 'A-A'

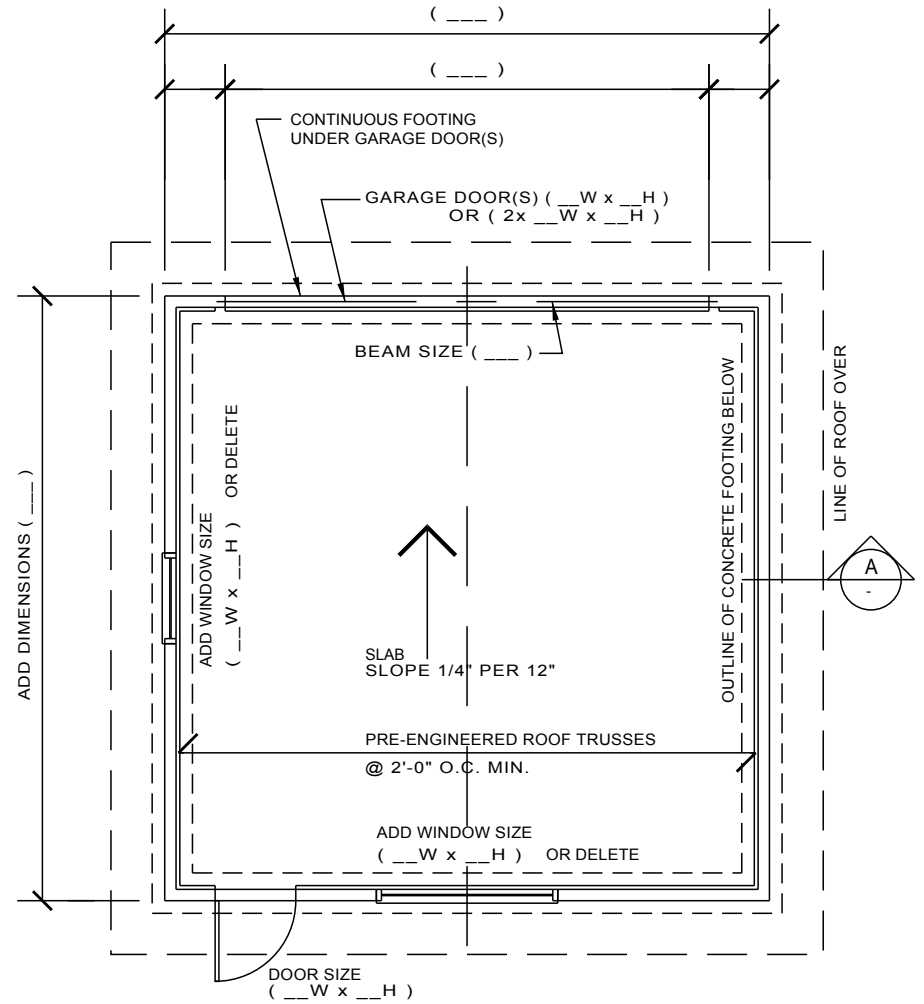
N.T.S



ALTERNATE FOUNDATION

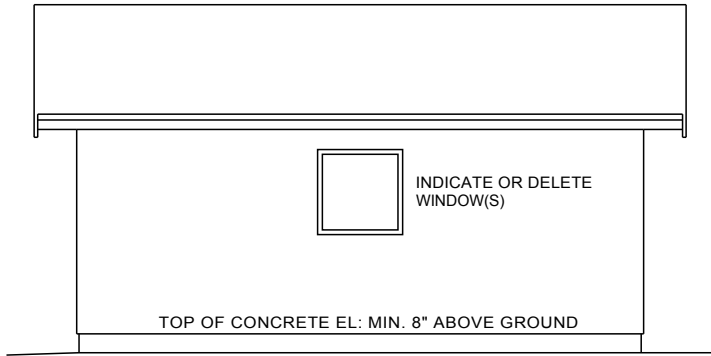
CROSS SECTION

SCALE: NTS

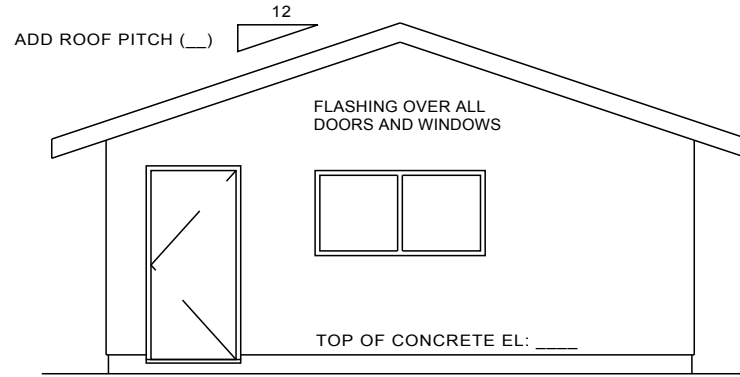


FLOOR PLAN

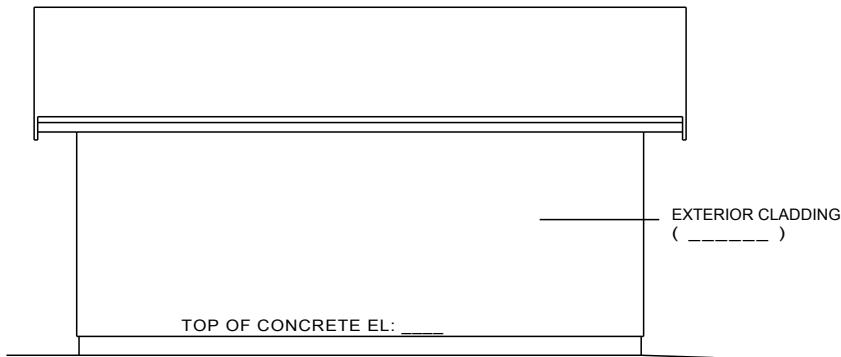
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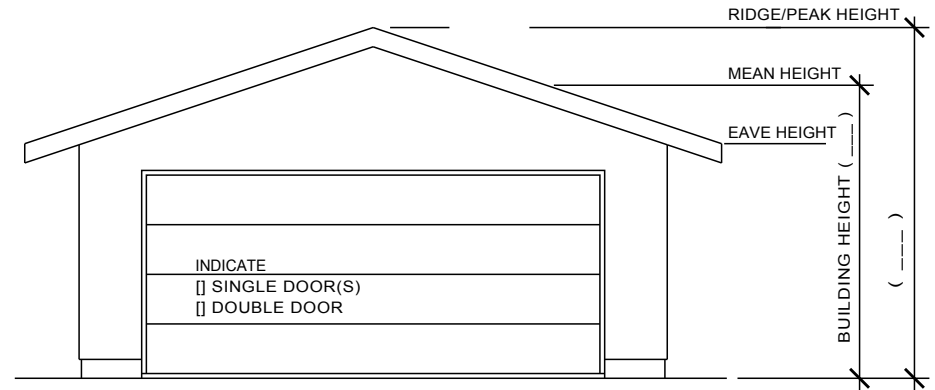
— ELEVATION  
SCALE: 1/4"=1'-0"



— ELEVATION  
SCALE: 1/4"=1'-0"



— ELEVATION  
SCALE: 1/4"=1'-0"



— ELEVATION  
SCALE: 1/4"=1'-0"

**NOTE:**

INDICATE ALL DOORS, WINDOWS, & OTHER FEATURES ON THE ELEVATIONS.  
CROSS OUT FEATURES SHOWN ABOVE IF NOT APPLICABLE.  
INDICATE CORRECT ROOF SHAPE: [] GABLE, [] HIP, [] SHED, [] FLAT, [] OTHER

# GARAGE ELEVATIONS