



Conditions of Plan Acceptance

Permits Licence and Inspection Services

Plan Acceptance Conditions

Est. 1873

20338 65 Ave., Langley B.C. V2Y 3J1

Phone 604-533-6018

Please review the information in this package. It has been provided to help avoid delays in your construction project.

These plans accepted for construction under Building Permit No. _____, are subject to the attached conditions:

- All construction must comply with the current edition of the British Columbia Building Code and Plumbing Code, as amended from time to time.
- All construction must comply with the Bylaws of the Township of Langley and any other enactment.
- Where there is any discrepancy between the attached accepted plans and the Building Code, or the Bylaws of the Township or any other enactment; the requirements of the Building Code, or the Bylaws of the Township, or any other enactment shall be met during the course of construction.

Every permit is issued upon the following conditions:

- The work shall commence within six months from the date of issuing the permit.
- The work shall not be discontinued or suspended for a period of more than six months.
- The work shall be completed within two years from the date of issuing the permit.
- The permit shall lapse in the event that any above condition is not met.
- An additional fee shall be paid if the permit is renewed.

DOCUMENTS ON THE SITE

The owner to whom a permit is issued shall, during construction, keep posted in a conspicuous place on the property:

- Site Address
- Building Permit
- Copy of the approved drawings complete with any specifications, field reports or certificates dealing with the project under construction.

CHANGE OF OWNER

In the event that there is a change of ownership of the property before construction has been completed, the Building Permit is to be transferred to the new property owner. The new permit holder shall become responsible for depositing the Damage Bond with the Township as well as providing their specific Home Owner's Protection Office forms.

****PROTECTION OF THE ENVIRONMENT DURING CONSTRUCTION****

A construction project has the potential to disrupt the quality of life and degrade the environment in the surrounding area. The Township of Langley places great emphasis on preservation of the quality of life and the environment of its citizens and requests that every effort be made to minimize the impact of your construction project on the community.

Your Building Inspector has been given responsibility for monitoring the environmental impact of your project and The Township requests that you assist the Inspector in resolving any problems that are brought to your attention.

Siltation control from the building site is required as a condition of issuing the Building Permit. Best Management Practices (BMP's) are out lined on the following page and are to be in place prior to requesting a forms inspection.

PROTECTION OF THE ATMOSPHERE, SOILS, AQUIFERS AND WATERCOURSES

Machinery may not cross, enter or remove material from a watercourse, wetland or its described buffer zone unless approved in writing by Ministry of Water, Land and Air Protection /or Fisheries and Oceans.

The burning and burial of construction waste is not permitted within the Township of Langley. Please ensure that the waste from your project is properly disposed of in an approved manner. The only approved site for disposal of construction waste in the Township is the Langley Transfer Station located at 1070 - 272nd Street (Phone 604-856-3225).

Care should be taken in servicing equipment, not to spill or dump oil, gas, diesel or other products of this nature that can percolate into the soil and underlying water tables. Used oil filters and parts must be removed from the site and disposed of in an approved manner.

PROTECTION OF NEIGHBOURING PROPERTIES

Construction waste, excavated soil and fill must not be pushed or dumped temporarily or permanently on neighbouring properties. Municipal roads and sidewalks are not permitted to be used for the temporary storage of any type of construction material. On construction sites adjacent to ravines, watercourses or public property, the Building Inspector will make periodic inspections to ensure that the adjacent lands have not been adversely affected by construction activity.

Where work has adversely affected neighbouring properties or the environment, the Building Inspector will not permit work to proceed, or accept your project as complying with Municipal regulations until the problem has been resolved.

Excavated soil must only be delivered to permitted sites. A list of accepted fill sites is available from the Engineering Department.

****PROTECTION OF STREETS AND SEWER SYSTEMS****

The tracking of mud and soil from construction sites onto the Municipal roads is a major source of complaints from the area residents. This material will silt up fish habitat in nearby creeks and streams where storm drains discharge. This discharge results in extra street and sewer cleaning costs, which will then be charged to the builder.

While it is recognized that the road adjacent to a construction site will at times get dirty, it is the responsibility of the builder to ensure that the mud or soil is removed from the road as soon as possible, and in any event, on a daily basis. The flushing of sediment laden material into the storm sewer is not permitted.

The following steps are required as siltation control measures to reduce tracking of mud, dirt and debris from your construction site onto the road. These steps are referred to as *Best Management Practices* (*BMP's). All of the following *BMP's* are to be in place and maintained during construction in order for requested inspections to be carried out.

- Prior to the start of work at the building site, a gravel access pad (of a minimum 1 ½" crushed material) at the driveway or parking area. The gravel sub-base can be used as the base for the finished driveway. The gravel base will greatly reduce the mud and soil tracked onto the road. The gravel access pad must be installed at the time of the excavation for the foundation.
- Drivers of all vehicles are to clean mud off tires and wheels before leaving the site.
- A poly cover or tarp is to be used to prevent erosion and leaching of the excavation stock piles onto Municipal roads and from entering storm water system.
- Lawn basins on the property and catch basins adjacent the building site are to be equipped with geo-fabric filter bags.
- A silt fence, reinforced with fence wire is to be installed along the front and rear of the property.

In order to protect the Municipal drainage system from significant damage, the practice of washing cement material from exposed aggregate driveways directly into Municipal catch basins is prohibited. Suggested details for retaining this material and protecting the catch basins is available as a separate handout from the Building Department Counter. Builders are responsible to ensure that any silt or debris caused from construction activity does not enter the Municipal catch basins. If any material does inadvertently enter the basins, the builder is responsible to ensure that it is cleaned out immediately.

The Building Inspectors will be inspecting roads, sidewalks and catch basins during construction and at the time of the Final Inspection to ensure they are kept clean. Failure to keep the streets, sidewalks and catch basins clean during the construction process will result in the Municipality arranging to have them cleaned with the costs being billed to the Builder(s) deemed to be responsible for creating the problem.

TOILET FACILITIES

The Township has received complaints from the public about the lack of toilet facilities on construction sites and inappropriate behavior by construction workers. Please ensure that toilet facilities are provided on site and workers instructed to not cause offense to the public by inappropriate behavior.

CONSTRUCTION WASTE FACILITIES

Builder is to provide adequate containers/bins on the site to dispose of all construction debris and trades garbage until the construction is completed.

ACCESS AND DRIVEWAYS

Access for fire fighting purposes shall be provided to the building via a driveway or yard having:

- A minimum width of 3.66 metres (12 feet)
- A minimum overhead clearance of 4.0 metres (13 feet)
- A bearing capacity sufficient to carry a 24,500 kg (54,000 lb.) pumper truck under all weather conditions.
- A graded surface that is not deeply rutted, potholed, or strewn with rocks greater than 100 mm (4 inches) in diameter.

Where a Municipal drainage ditch serves a property, access is permitted only by means of an approved culvert installed either by the Public Works Department or under their supervision. Bulkheads are required at all culverts.

Private asphalt driveways connecting to the street paving are permitted only when the driveway is served by a drainage culvert or the driveway is swaled or graded to a low point between the property line and the street paving.

Private concrete driveways are not permitted between the property line and the street paving, but are permitted where a concrete sidewalk or curb exists.

Driveways shall be constructed to prevent drainage from the road being directed towards the buildings on the property or a driveway catch basin shall be installed.

There are times and site conditions that make it necessary for the builder to construct a driveway let-down at the sidewalk curb. There is a diagram available at the Building Department counter of the acceptable methods of construction. The barrier curb let-down must be raw cut to the straight and smooth finish. The use of a jackhammer to chip off the barrier section and the grouting of the exposed surface is not acceptable to the Township.

DESIGN DATA

The design snow load is calculated by using the formula provided in Part 9 of the B.C. Building Code for all roof width factors as follows:

$$S = C_b S_S + S_R$$

| | |
|-------------------|---------------------------|
| Ground Snow Load | 2.4 KPa |
| Rain Factor | 0.2 KPa |
| Design Load (55%) | 1.52 KPa (31.7 lbs/sq ft) |

SITING

Ensure the siting of the building is in compliance with all required setbacks. Property title should be searched to ensure that no easements, right of ways, watercourses, lakes or conditions of restrictive covenants are being encroached on. Roof overhangs and rain gutters are not permitted to project into the air space above easements, right of ways and restrictive covenants.

EXCAVATION

Depth of frost penetration in this Municipality is established as 18".

Backfill shall be placed, to maintain slope away from the house.

FOUNDATIONS

Foundations are to rest on undisturbed soil or be sealed by a Professional Engineer licensed to practice in British Columbia.

In order to allow for all types of soil conditions normally encountered in the Township of Langley, minimum 16" x 6" strip footing and 6" wide foundation wall is required.

Top of concrete foundation must be 8" above final grading.

To prevent the adverse effects of frost heave, a minimum of 6" clearance is required from the underside of siding and all exterior slabs and sidewalks.

SPLASH PADS

Walkways and driveways used as splash pads is a dangerous practice, as it can cause the formation of ice on these surfaces during periods of freezing weather, creating an extremely slippery walking surface. Therefore, the use of walkways and driveways for splash pads or the installation of splash pads in any location, which can cause water flow onto walkways and driveways, is not permitted.

LOT GRADING

At the time of final inspection, the builder is to ensure the lot grading is in accordance with the Storm Water Management Plan (where applicable), or that the building site has been graded so that water will not accumulate at or near the building.

The Minimum Building Elevation must be maintained in areas with a Storm Water Management Plan as indicated on the Engineering Department Report accompanying the permit and accepted construction drawings.



Required Building Inspections

Permits Licence and Inspection Services

Required Building Inspections

20338 65 Ave., Langley B.C. V2Y 3J1

Phone 604-533-6018

Forms Inspection

On completion of concrete form work and prior to placing concrete for footings or foundations. Survey is to be on available on site. P.Eng. field report (if applicable) is to be on site. Best Management Practices (BMP's) for Siltation Control are to be in place on the site. (See page 3 for BMP requirements.)

Service Connection Inspection

When all piping for water service, including the metre setter, storm and sanitary sewer piping is installed but prior to backfilling. The sanitary sewer connection pipe to the dwelling is to be under test with a minimum of 10' of head pressure.

Prior To Backfill Inspection

When the drain tile is in place and covered with the min. 6" of drain rock and the damp-proofing has been applied. Included in this package is a Services and Sump Location Plan. The information is to be filled in on the site plan provided and be presented at the time of inspection.

Rough Plumbing Inspection

Drains, waste and vent piping and water piping are completed and the appropriate tests are on the systems. Any plumbing to be covered by concrete (under slab) must first be inspected and accepted.

Floor Slab Inspection

When radiant heating is being used within the slab, an inspection of the insulation is required prior to pouring the slab. A Compaction Certificate is required from a P.Eng. for all sub-slab fill.

Frame Inspection

After all the frame work, sheathing, duct work, chimney construction and electrical wiring have been completed and before the application of the insulation and exterior cladding. Roofing certificate (if applicable to your construction) is to be completed and made available at the time inspection.

Insulation and Environmental Separation Barrier Inspection

When the thermal insulation and environmental separation barriers are complete and prior to application of wallboard or paneling. **(Building paper must be applied over the exterior sheathing prior to the installation of the insulation. The insulation inspection will not be accepted if there has not been steps taken to protect the insulation from weather damage.)**

Final Building Inspection

All construction has been completed and before occupancy. (All work includes but not limited to, lot grading, exterior stairs, guards, caulking, connection of downspouts etc.) Certificates supplied in this package for Insulation, Heating and Ventilation are to be completed and made available at the time of inspection.

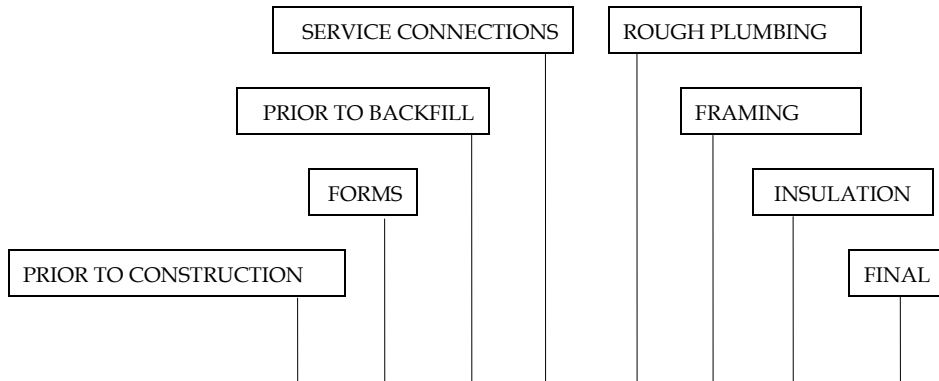
Re-Inspections

Where any inspection carried out discloses faulty work and another inspection is necessary or where the permit holder fails to have the work accessible or is not ready for the inspection, an additional re-inspection fee may be charged.

REQUIRED BUILDING INSPECTIONS

24 HOUR INSPECTION REQUEST LINE - PHONE: 604-533-6114

PLEASE LEAVE YOUR PERMIT NUMBER, TYPE OF INSPECTION REQUESTED, ADDRESS OF BUILDING SITE, CONTACT NAME & PHONE NO., BUSINESS LICENCE NO.



| SINGLE FAMILY DWELLING | | | | | | | | |
|------------------------|--|--|--|--|--|--|--|--|
| MOBILE HOME | | | | | | | | |
| MOVE-ON HOUSE | | | | | | | | |
| RESIDENTIAL ACCESSORY | | | | | | | | |
| CHIMNEY | | | | | | | | |
| STOVES AND INSERTS | | | | | | | | |
| AGRICULTURAL BUILDINGS | | | | | | | | |

GAS AND ELECTRICAL Tel. 604-539-3573 or 604-539-3574
 Please contact the Gas and Electrical Inspector for inspection requirements - #101 22259 48th Ave. Langley BC, V3A 8T1

SEPTIC SYSTEM Tel. 604-585-2788 ext. 224
 Please contact the Registrar of Onsite Wastewater Practitioners - 10767 148th St. Surrey BC, V3R 0S4 to obtain a list of Registered Practitioners in the local area or visit the Onsite Wastewater Systems Web Site: owrp.asttbc.org for the complete registration list.

ENGINEERED BUILDINGS Inspections by Township of Langley staff are still required where construction is supervised by a Professional Engineer or Architect.